





Sydney Catholic Schools

Marist College Penshurst,

Middle School Campus

at South Hurstville

Development Application Context Report

R3- FOR DEVELOPMENT APPLICATION



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#### INTRODUCTION

This document describes the architectural design intent for the proposed middle school campus of Marist Catholic College Penshurst on the former South Hurstville Bowls Club site. This adaptive reuse will become the second campus of the school, serving as safe learning environment for students leaving Primary School.

Marist College Penshurst is a Catholic systemic high school, run by Sydney Catholic Schools. It was established in 1953. In 2015, the College expanded and evolved into a Co-educational school, catering for students from Year 7 to Year 12. A considerable rise in enrolments across all years has required the school to increase the number of class streams across each year. With limited land available on the original Penshurst site this growth has required another campus to be constructed in the area. It is proposed that the South Hurstville campus will be a 9-stream school, catering for classes of 24 students across years 7 & 8. The total student population will be 432 students with 28 full time staff.

Using the masterplan principals established at Marist Penshurst, the proposed school utilizes strong axis to define 3 learning Hubs located around the central Administrative Hub. Each Hub is further ordered with Specialist and general learning spaces separated by the curved learning street.



The Proposed site



### **EXISTING ENVIRONS**

#### SITE

29A Greenacre Road is 1.43 Hectares and is bounded by Rickard Road to the north and Greenacre Road to the east. The site is a battle-axe with limited street frontage to either Rickard Road or Greenacre Road. Current access to the site is from a single driveway entry off Greenacre Road at the northeast, exiting via a single driveway to Rickard Road to the north. There is a 11 meter wide frontage to Greenacre Road at the southeast of the site, comprising a profiled metal fence and locked gate which is currently used only for garden maintenance.

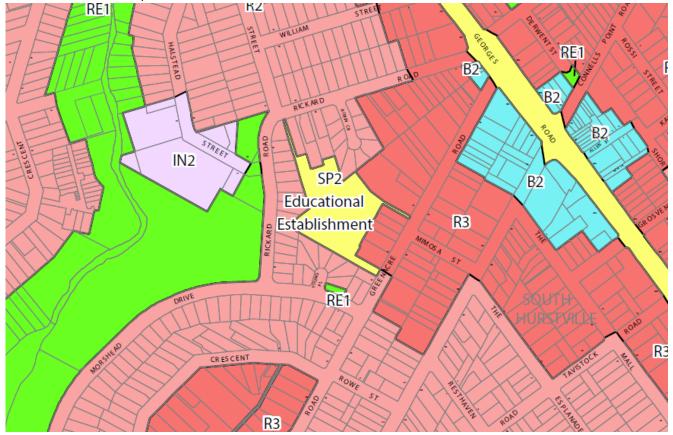
The site has significant fall across the site from the North East to the South West, accommodated by three main terraced levels. The upper terrace encompasses an existing bowling green formed by a sandstone retaining wall, the main terrace has the carpark and former Bowls club formed by a natural rock cliff and sandstone retaining walls, and the lower terrace comprised of two more bowls green and associated outbuildings. The site boundaries are defined by a mix of standard, predominantly profiled metal, residential fences. The site was recently sold to Sydney Catholic Schools when the club amalgamated with the Peakhurst Bowling Club.

#### **HERITAGE**

Built in 1953, the former Bowls Club has Art-Deco elements. The building has been identified by the Kogarah City council as rare 2 storey example of the Post-War Functionalist style institutional building, and as such is considered to contain heritage significance. The bowls greens, surrounding lawns, gardens and associated outbuildings do not contain heritage significance. A Statement of Heritage Impact has been prepared and the proposed redevelopment of the site has been shaped by the recommendations and guidelines.

#### **ZONING**

The current Kogarah LEP 2012 has the site rezoned to SP2 Educational Facility. The proposed design is consistent with the requirements of SP2.



Excerpt from the new LEP Zoning Map



#### **SURROUNDING CHARACTER**

The surrounding houses are primarily single and double storey brick villas and cottages on Greenacre Road, two to three storey brick cottages and duplexes along Rickard Road and mix of single storey and double storey houses along Robin Crescent.



Typical houses on Greenacre Road



Typical Duplex on Rickard Road at the site exit driveway.



### **PROPOSED**

#### **MASTERPLAN**

The Masterplan was developed as a direct response to the following site conditions:

- the Heritage listed former Bowls Club Building;
- the existing site terracing;
- utilizing existing access points;
- and the vista of the existing building when viewed from the south.

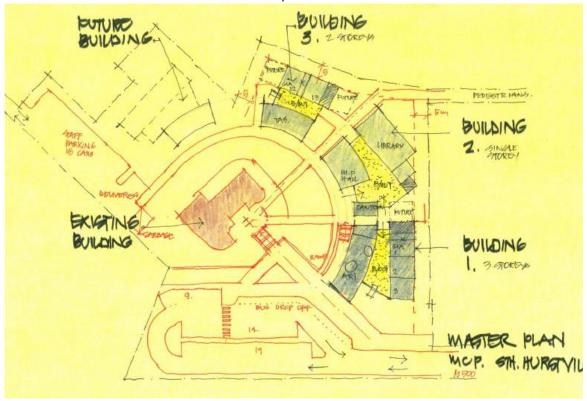
To respond to the site conditions and heritage overlays, the Masterplan was developed with three key design drivers:

- the creation of the north-south axis to reinforce the significance of the former bowls building and define the circulation to the front entry;
- the creation of the east-west axis to define the pedestrian access;
- the creation of secondary axes to define circulation through the campus;
- and the use a circular axis radiating from the former Bowls Club Building to define movement through the new school hubs.

The north-south axis was defined by the centre of the former bowls building, strengthening the symmetry of the building which is a key design trait of Art-Deco buildings. The east-west axis is perpendicular to the north-south axis and aligns with the main pedestrian access into the site from the north-east directly from Greenacre Road. The two secondary axes are 45 degrees to the main axes and define the extent of the building form and defining circulation.

The final axis, called the Learning Street, radiates through Buildings B, C and D, defining circulation throughout the buildings. The centre point of the axis is the intersection of the north-south and east-west axes at the front of Building A. The learning street also distinguishes between the general-purpose learning areas (GPLA's) on the outside of the arc, from the specialist learning areas facing towards Building A.

The floor levels of each building have been determined by the existing terrace levels minimizing cut and fill on the site and with consideration of the 100 year flood level that affects the south west of the site.



The Masterplan Sketch



#### **ADAPTIVE REUSE**

The existing Post War Functionalist bowls club building will be retained, and returned to its former glory by making it the focal point of the school campus. This is achieved by adapting the building into the administrative center of the school, containing the front office and associated functions on the ground floor level and the Staff facilities on the upper level. This building is referred to as Building A. The school Chapel is also contained within Building A. These functions reinforce the building as the administrative and spiritual center of the school, centrally located within the masterplan. Consultation with the Heritage Architect has allowed the removal of non-period elements and non-sympathetic additions but also has allowed the addition of an internalized stairs. A new addition featuring a second curved ceremonial internal stair and elevator is to be added on the north face of the building. This addition incorporates square windows and neutral rendered walls. The existing single storey faceted glazed addition on the southwest corner of the building will be removed and replaced with a curved and rendered sympathetic addition.



Rendition of the refrubished Administration Building

#### **HERITAGE**

Following comments and consultation with the Council, the following Heritage items have been addressed:

- The design & documentation has been amended to restore the original clock & flagpole, which includes the reinstatement of the missing the flag pole;
- The design & documentation has been amended to preserve the existing tiled front terrace and step. Access ramps have been added that are able to be easily removed with damaging the existing fabric;
- The design & documentation has been amended to preserve the existing level 2 balcony timber doors;
- The design & documentation has been amended to preserve the existing front columns, these will be refaced with round columns as per the Heritage Impact Statement.
- The design & documentation has been amended to conserve all timber windows in-situ;
- The design & documentation has been amended to retain the level 1 timber doors as auto slide doors;
- The design & documentation has been amended to preserve the original brick string courses

The development proposes the demolition of the existing external stair. The proposed adaptive reuse of the building requires the refurbishment of the entire building. Due to the extent of the refurbishment, the building fabric and services are required to be upgraded in accordance with the requirements of the Building Code of Australia and other related Australian Standards.

The existing stairs have been assessed and deemed non-compliant due to the stair arrangement and missing handrails, nosings and tactile indicators.

In consultation with the Heritage Architect, the proposed removal of the stairs was supported due to compliance issues, the adverse impact of the stairs to the symmetry of the building.

#### **BUILDING FORM**

The form of the proposed buildings has been developed to complement, without competing against, the existing Art-Deco building. The proposed buildings present a flat face to the center of the site, juxtaposing the curves of the Art-Deco Building. The new building form is defined by the axial arrangement and geometry and each building face is at 67.5 degrees to the axes, providing symmetry and order to the new



buildings. The new buildings are of the character of the buildings developed at the existing Penshurst school. This was done to ensure a smooth transition for the students progressing to year 9 at Penshurst.

The new buildings utilize a modular façade pattern allowing for horizontal emphasis of the windows. Each window bay is inset (see figure to right) to allow for integrated sun shading elements. The proportions of the panels and facades are based on the golden ratio, as traditionally used in the composition of Art-Deco building facades. The rooves of the new buildings are concealed by Parapets.

The learning street through the center of the buildings is defined by raised clerestory windows and each end is terminated with curved stairs featuring horizontal banded windows consistent with the Building A addition. Building A is two storeys, Building B three storeys, Buildings C and D two storeys. The upper level of all three buildings are connected by the learning street, which is enclosed between each building.

#### **FACILITIES**

The main Building A contains the front office, administration, school chapel and staff facilities. Building B contains music, science and art faculties along with 9 general purpose learning areas (GPLA's) across 3 levels. Building C contains Student support facilities, library / reading room, multipurpose hall and canteen. Lastly Building D contains the woodwork, design, food and fabric technologies along with 4 GPLA's. External facilities are provided in the form of a shaded multipurpose court and climbing / ball sport wall to the north of the site, small performance stage on the external side of Building C and a chapel courtyard, lunch plaza and terraced hanging gardens in the center of the site.

#### **SITE ACCESS & CARPARKING**

The main public vehicular access will be from Greenacre Road at the southeast of the site via a new dual lane driveway. The driveway will be open during morning and afternoon pickup times but will be closed with automatic swing gates controlled via intercom all other hours.

Access to the staff carpark will be via a two-way single lane driveway. A new traffic island will also be installed on Rickard Road, as recommended by the traffic consultant, limiting access to left only. This will ensure the intersection of Rickard Road and Truman Street will not be unduly affected. Access to the carpark will be controlled via an automatic swing gate with intercom.

Pedestrian access to the site is via the dedicated gate to the northeast of the site, or via the 2m access path parallel to the new driveway. Equitable access will be provided to the Administration building via an external

elevator. There also an external ramp to the south of Building B allowing access directly from the carpark level which provides access to an internal lift in the north of building B servicing the new buildings.

The new public carpark is located to the southwest of the site and contains 43 spaces, including 2 accessible spaces. There is also provision for 3 buses to pick-up / drop-off students on site safely. The carpark circulation is designed to cater for the buses as well as larger firefighting appliances.

The staff carpark is to the north of the site and is accessed from Rickard Road. It has 15 spaces including 1 accessible space. The staff carpark also serves as the delivery access into the site, with the waste enclosure at the end of the aisle. There is a vehicle reverse turn around bay, allowing service vehicles to operate in a front in / front out arrangement.

Boundary fencing adjacent to the new driveways and carparks will be replaced with new solid lapped timber fences of at least 2.1 meters high to ensure acoustic disturbance is at a minimum as outlined in the Acoustic Report.



Following exhibition and presnetation of the DA to the Design Review Panel on the 7<sup>th</sup> September 2017, the following amendments have been made to address the issues raised, namely the impact on the neighbouring villas to the south east of the site:



- The movement and rotating of Building B away from the south east boundary to improve the amenity of No's 37 & 39 Greenacre Road;
- The further reduction of the impact of Building B on the South east side by removing the general learning area and outdoor terrace;
- The upper level of Building C was amended to include the removed general learning area from Building B and a teacher resource room was added to continue the two storey extent of the building linking it with Building B;
- o The lower level of Building C was amended to allow for the infill of the upper level

These changes have been reflected in the lasted drawings forming the SSPP set.



Revised Site Plan A004\_r16

#### **BUILDING SERVICES**

Building plant areas have located descretely on the ground near their repective buildings. This ensures minimal roof mounted equipment as well as safe maintance practices. Where the units are near neighbouring boundaries, solid walls are proposed to deflect noise internally away from the boundaries.

### **SCHOOL OPERATIONS**

The campus will operate as a 9 stream, years 7 & 8 campus for 432 students and 28 staff. The hours of operation are proposed to be 8am to 5pm, Monday to Friday. The school will be closed on weekends. The only afterhours events would be Parent Teacher nights, one per term between 5pm and 8:30pm. Fetes, concerts, performances and the like will be held at the existing Penshurst Campus.

# **MUNNS SLY MOORE** architects

#### **FINISHES**

The following finishes are proposed



BR1 Rendered Brickwork



BR2 Feature Brickwork



BR3 Retaining Wall Brickwork



CL1 Prefinished CFC Cladding



CL2 Highlight Composite FR Aluminium Cladding



CL3 Highlight Composite FR Aluminium Cladding



CL4 Highlight FR Composite Aluminium Cladding



PT1 Paint to render



PT2 Highlight Paint 1



PT3 Highlight Paint 2



WIN1 White Aluminium Framed Curtain wall



WIN2 White Aluminium Framed Window / Doors



WIN3 WIN2 with glazed louvre inserts



WIN4 Building A Refurbished Windows



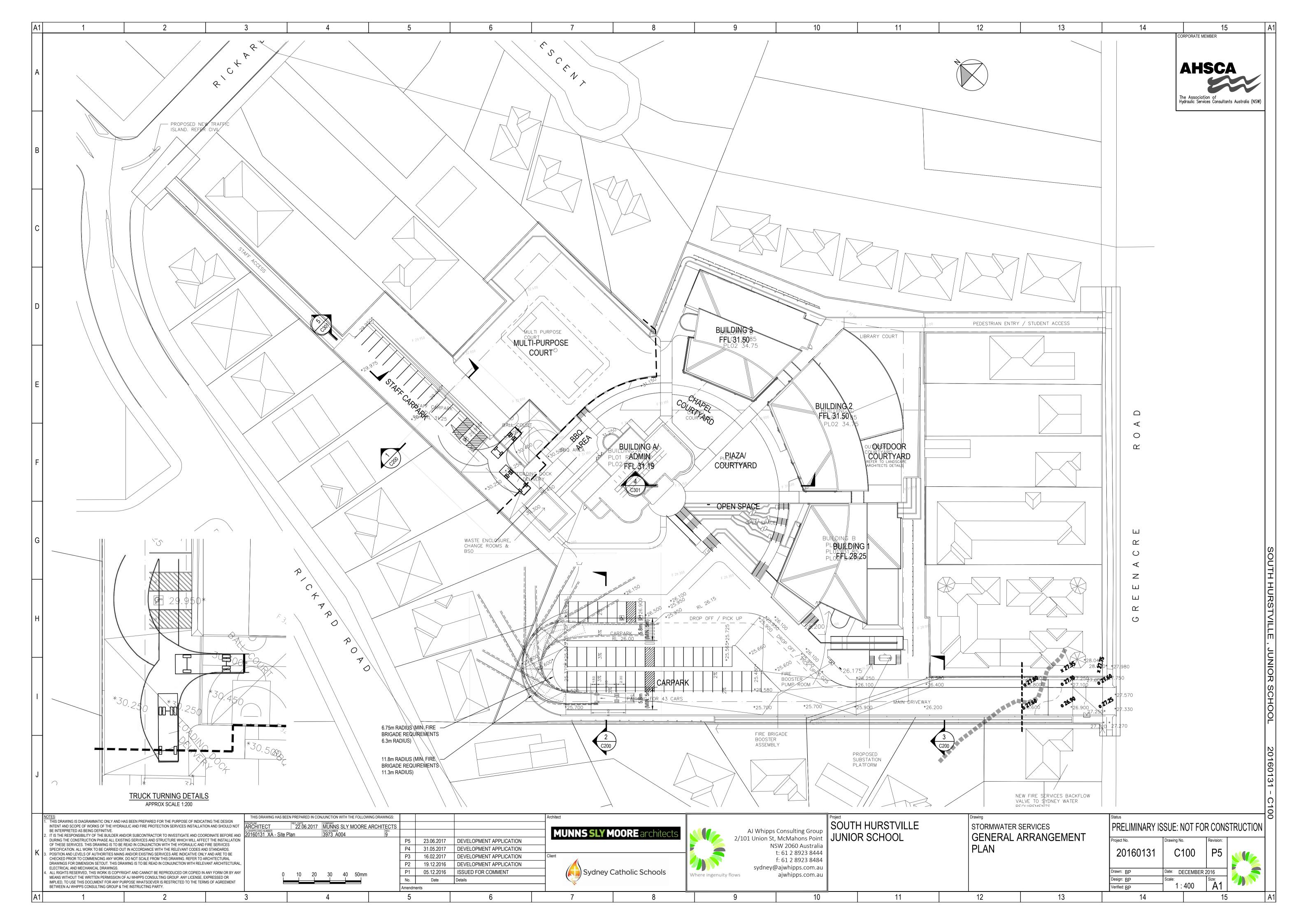
SS1 Sunshades Powdercoated folded metal – New Buildings only.



MR1 Metal Deck Roofing



LV1 Fixed Louvres



# **DEMOLITION PLAN NOTES**

- 01 REMOVE FLOOR FINISH. PREPARE SLAB TO RECEIVE NEW FINISH
- REMOVE ALL EXISTING SKIRTINGS
- CAREFULLY DEMOLISH WALL. MAKE GOOD RETAINED STRUCTURE
- REMOVE DOOR, FRAME & ASSOCIATED HARDWARE. MAKE GOOD RETAINED STRUCTURE
- REMOVE WINDOW FRAME, GLAZING SYSTEM & ASSOCIATED FIXTURES
- DEMOLISH STAIR. REMOVE HAND RAIL, BALUSTRADE & LANDING AND ASSOCIATED STRUCTURE. CAREFULLY REMOVE WALL LINING TO EXISTING COLUMNS.
- DEMOLISH WALL & CURTAIN WALL SYSTEM.
- REMOVE EXISTING JOINERY THAT INCLUDES ALL BASE CABINETS, COUNTER TOPS, UPPER CABINETS, SHELVING AND CAP ASSOCIATED SERVICES.
- DEMOLISH COMPRESSOR ENCLOSURE. REMOVE AND EXISTING COMPRESSOR AND ASSOCIATED SERVICES.
- REMOVE ALL EXISTING PLUMBING FIXTURES. CAP REDUNDANT SERVICES NEATLY TO SERVICES ENGINEERS DETAIL.
- DEMOLISH EXISTING CEILING. REMOVE RELATED SUPPORT SYSTEMS & FIXTURES, LIGHT FIXTURES, GRILL DIFFUSERS, EXIT SIGNS, ELECTRICAL, COMMUNICATIONS, ETC, AS REQUIRED 13 REMOVE EXISTING HVAC SYSTEM THAT INCLUDES DUCT WORK, HANGERS, GRILLS, DIFFUSERS, THERMOSTAT, ETC, AS REQUIRED
- 14 REMOVE EXISTING ELECTRICAL WORK THAT INCLUDES CONDUIT, BOXES, WIRE, CABLE, SUPPORTS, WIRING DEVICES, SAFETY SWITCHES, FIRE ALARM EQUIPMENT, TELEPHONE OUTLET, ETC, AS REQUIRED.
- 15 DEMOLISH EXISTING ROOF AND ASSOCIATED TIMBER PURLINS. RETAIN EXISTING BEAMS. REMOVE DOWNPIPES, BRACKETS AND GUTTER. PROVIDE SUPPORTS TO WALL TOPS AS REQUIRED UNTIL NEW ROOF IS INSTALLED.
- 16 REMOVE ALL ROOF MOUNTED AC CONDENSER UNITS. REFER MECHANICAL DOCUMENTATION 17 REMOVE DOWNPIPE & ASSOCIATED BRACKETS
- 18 REMOVE FASCIA GUTTER & SOFFIT LININGS.
- 19 DEMOLISH EXISTING FLOOR
- 20 CUT EXISTING WALL TO INSERT NEW WINDOW. SIZE TO MATCH NEW WINDOW
- 21 CUT EXISTING WALL TO INSERT NEW DOOR. SIZE TO MATCH NEW DOOR

# **DEMOLITION PLAN LEGEND**

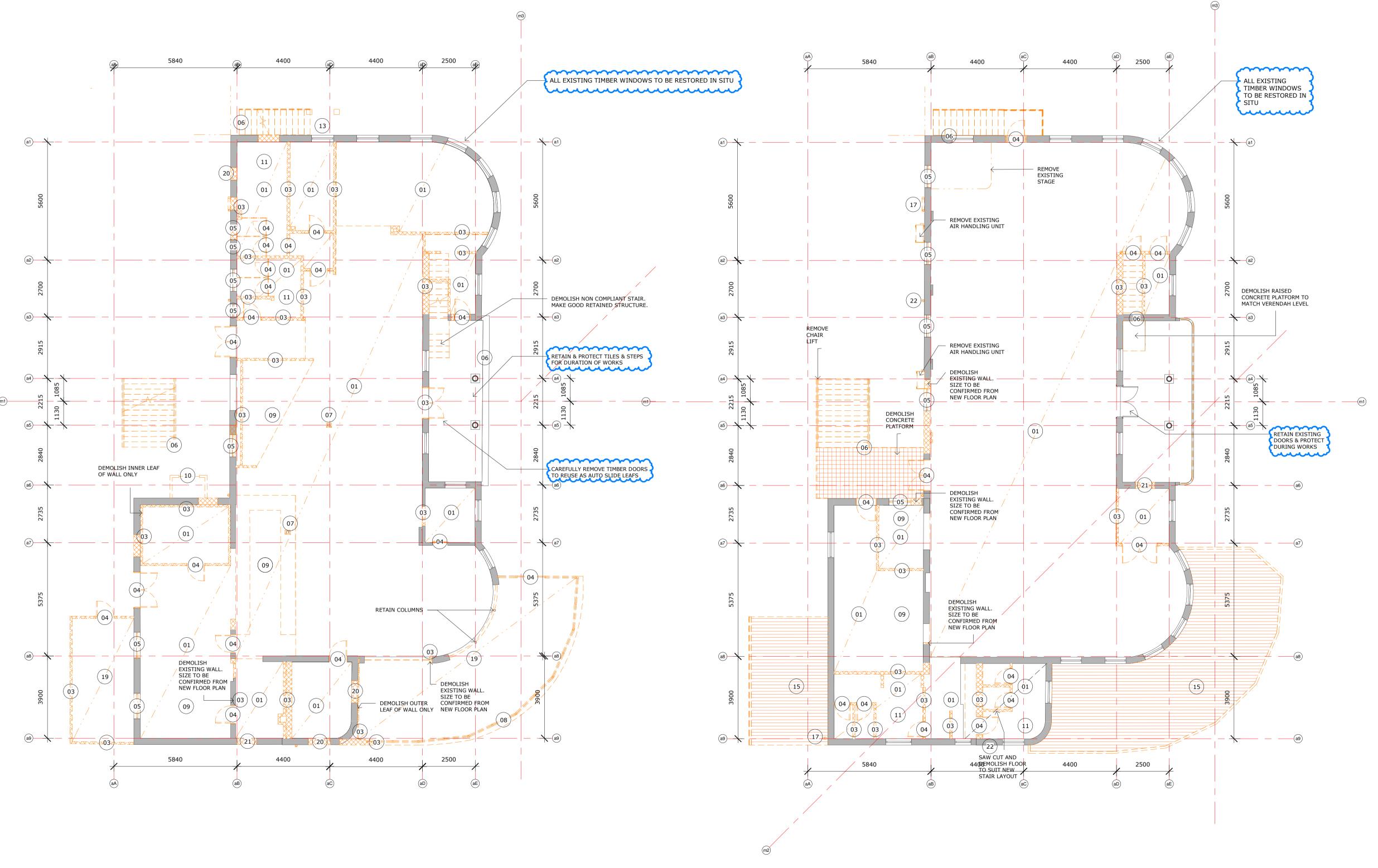
EXISTING TO BE DEMOLISHED

**EXISTING TO BE RETAINED** 

ALL DEMOLITION WORK TO EXTERNAL FABRIC TO BE UNDER THE DIRECTION OF THE HERITAGE ARCHITECT.

- REFER TO STRUCTURAL ENGINEERS DOCUMENTATION FOR DEMOLITION WORKS
- REFER TO ELECTRICAL ENGINEERS DOCUMENTATION FOR DEMOLITION WORKS REFER TO HYDRAULIC ENGINEERS DOCUMENTATION FOR DEMOLITION WORKS
- CONTRACTOR TO NOTIFY ARCHITECT AND ENGINEERS OF FOUND HIDDEN SERVICES DURING DEMOLITION WORKS.
- 5. TO BE READ IN CONJUNCTION WITH HAZARDOUS MATERIALS SURVEY.

EXISTING DRAWINGS PREPARED BASED ON VISUAL INSPECTIONS ONLY. CONTRACTOR TO ADVISE SUPERINTENDENT OF DISCREPANCIES AND AWAIT INSTRUCTION.



BLD A- LEVEL1- DEMO

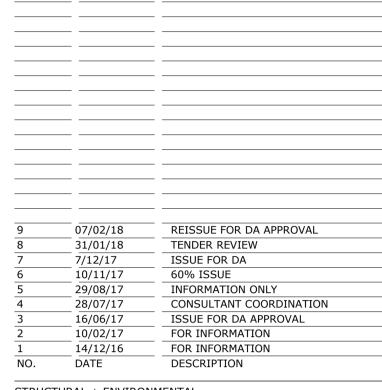
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BLD A- LEVEL 2- DEMO A031 1:100

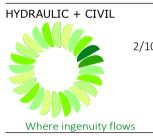
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4. Contractor to verfiy all dimensions and levels on site prior to commencing any work or making of shop drawings, and seek instructions if any discrepancies are found.



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DRAWING

BLD A - DEMOLITION **PLANS** 

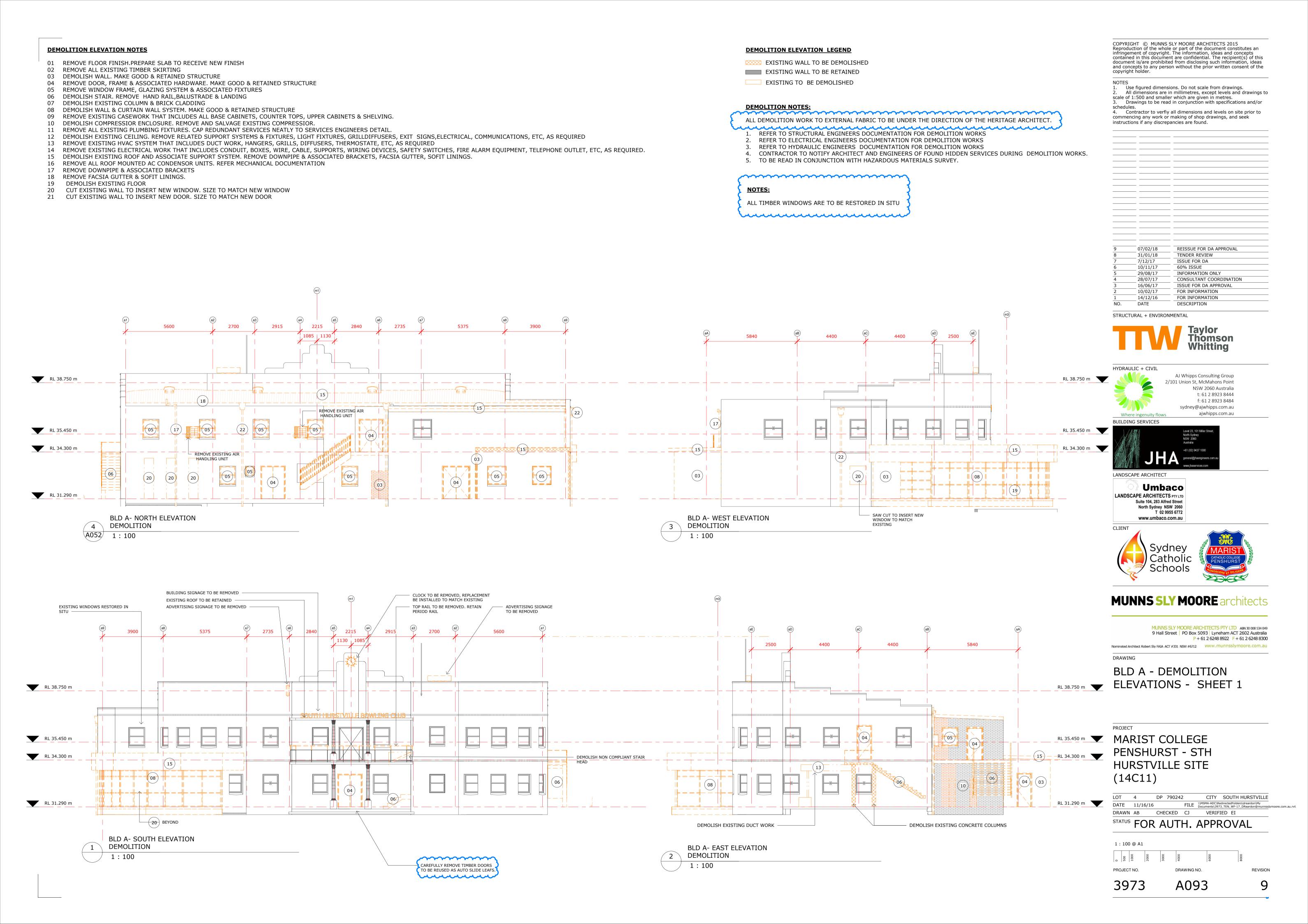
MARIST COLLEGE PENSHURST - STH **HURSTVILLE SITE** (14C11)

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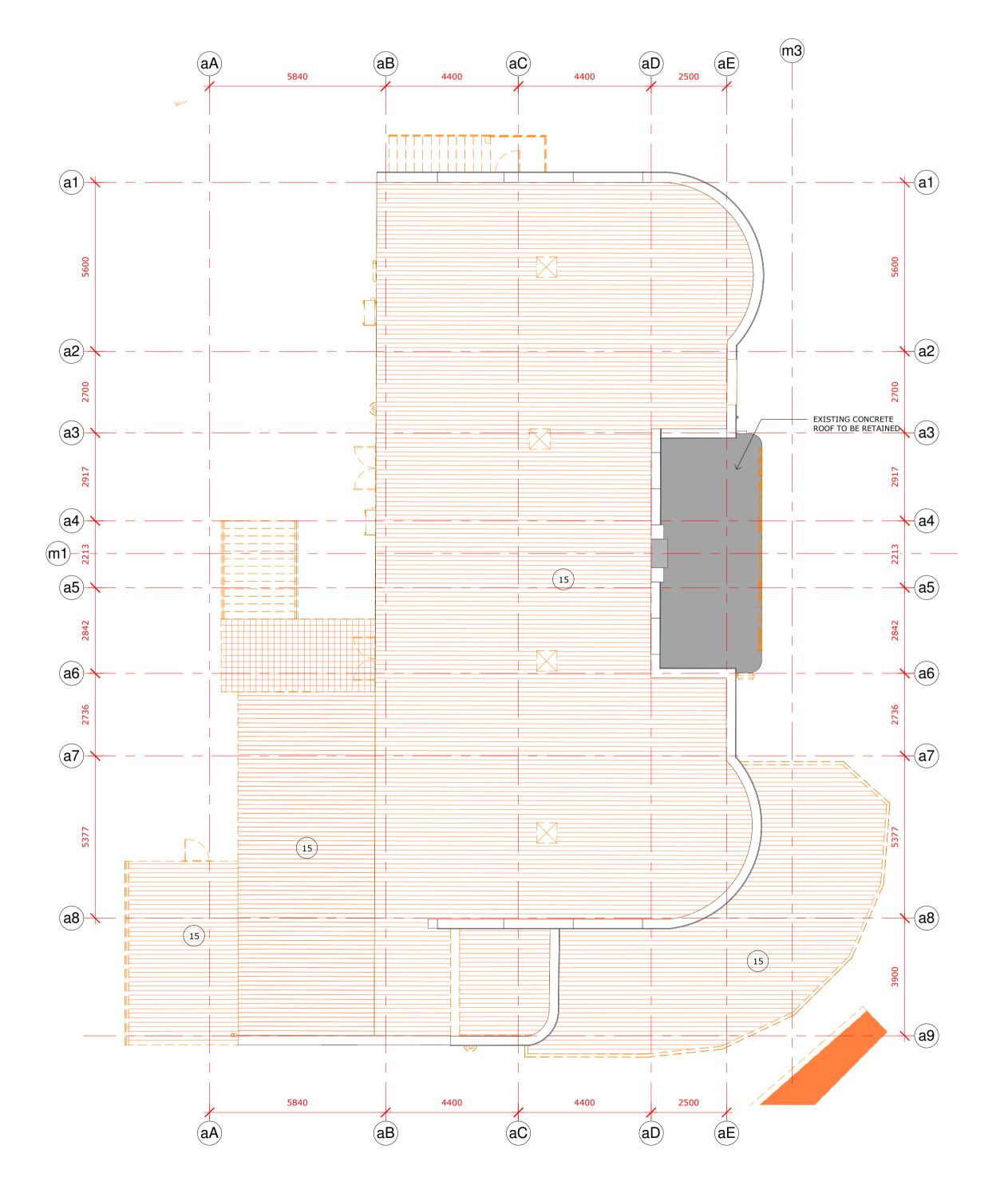
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### **DEMOLITION PLAN NOTES**

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## **DEMOLITION PLAN LEGEND**

EXISTING TO BE DEMOLISHED **EXISTING TO BE RETAINED** 

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- 5. TO BE READ IN CONJUNCTION WITH HAZARDOUS MATERIALS SURVEY.

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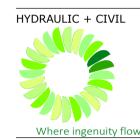
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2	28/07/17	CONSULTANT COORDINATION
1	16/06/17	ISSUE FOR DA APPROVAL
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BLD A - DEMOLITION ROOF

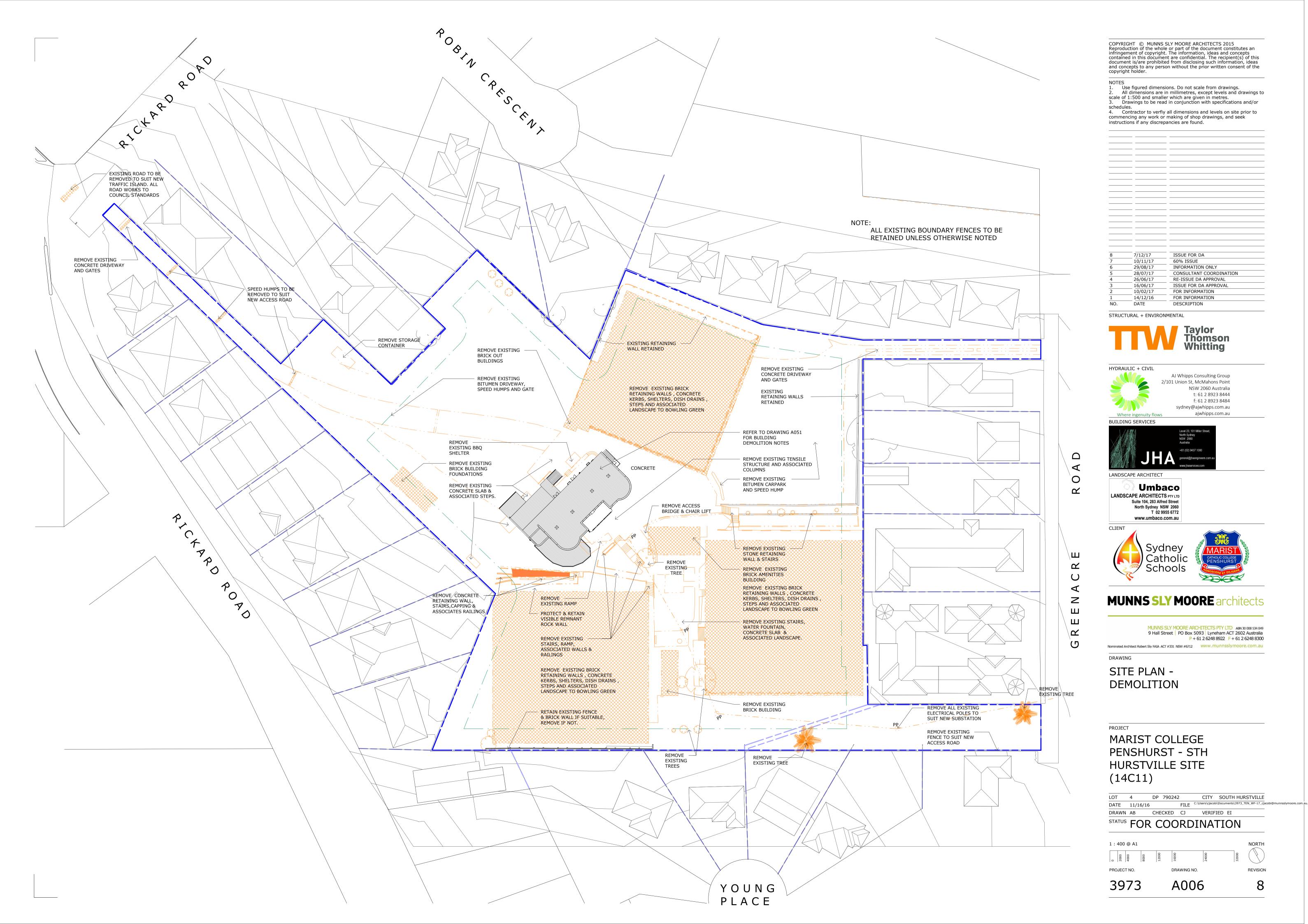
DRAWING

MARIST COLLEGE PENSHURST - STH HURSTVILLE SITE (14C11)

LOT 4 DP 790242 CITY SOUTH HURSTVILLE DRAWN AB CHECKED CJ VERIFIED EI

FOR COORDINATION

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FINISHES LEGEND

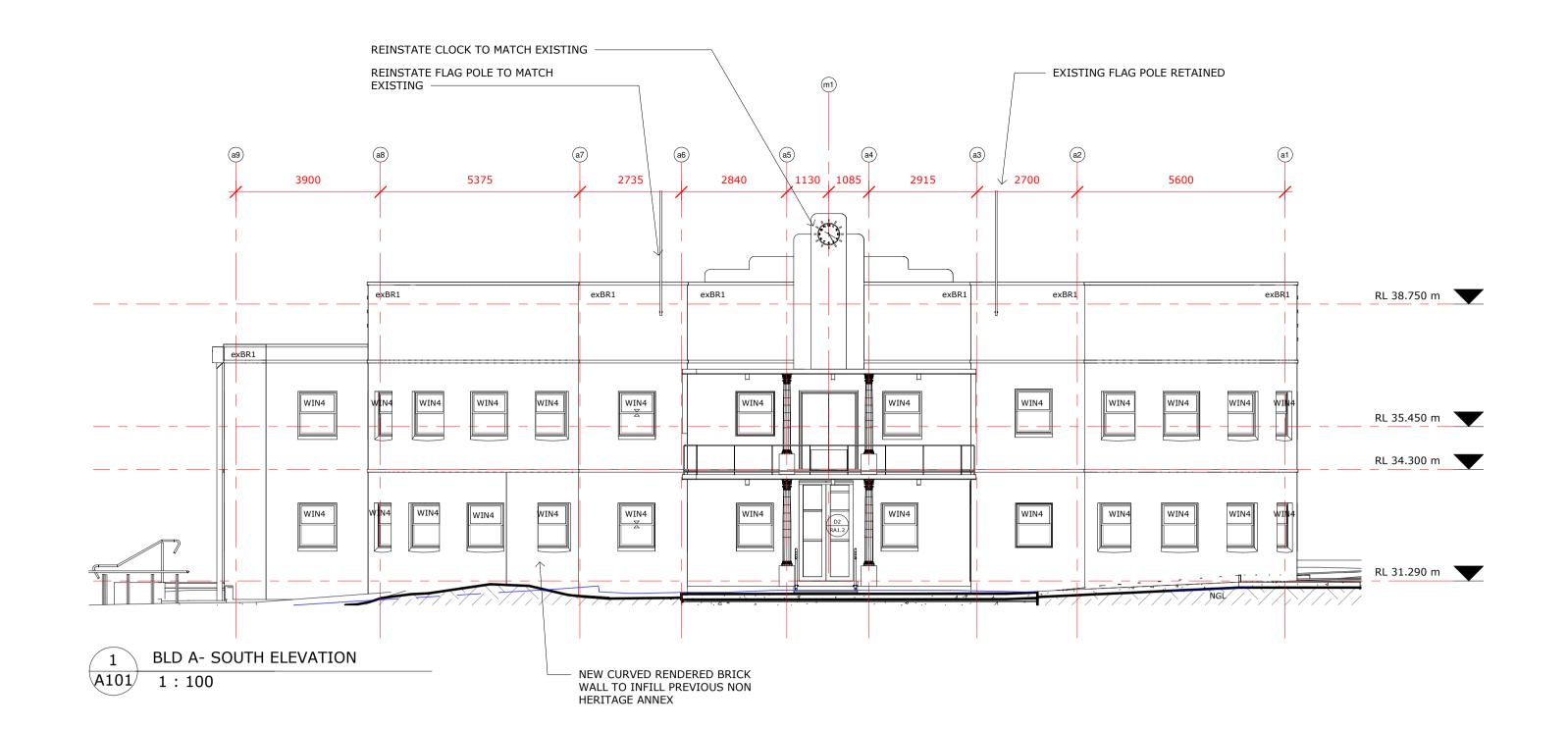
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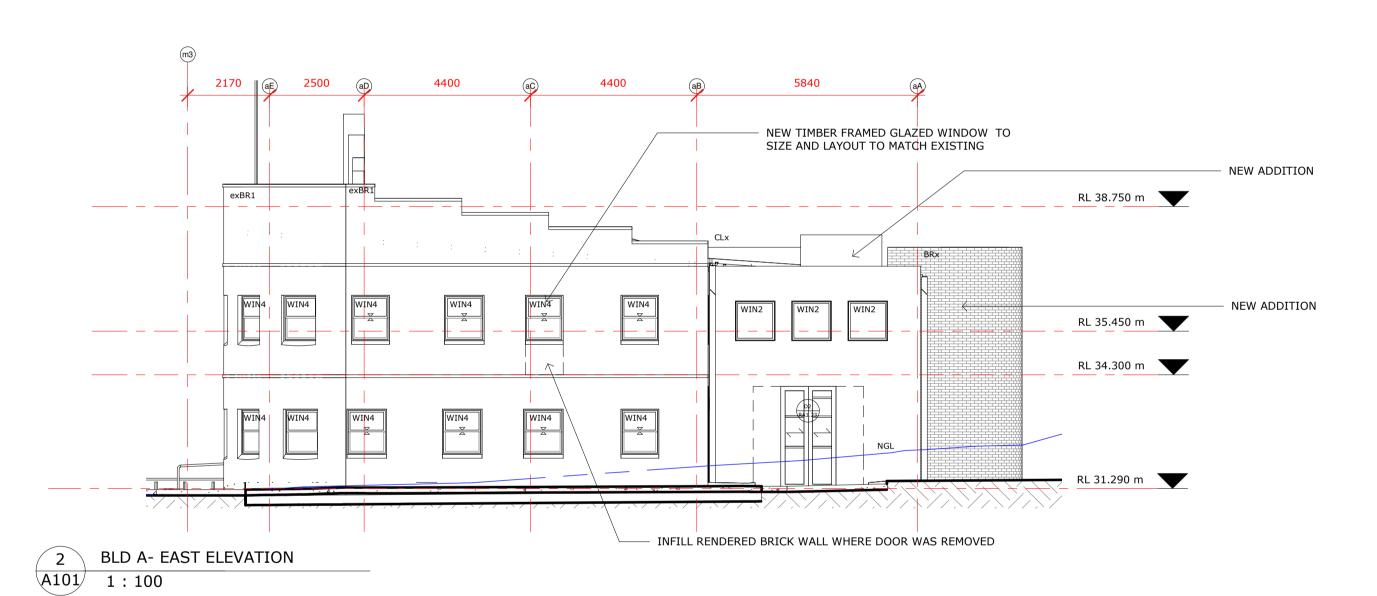
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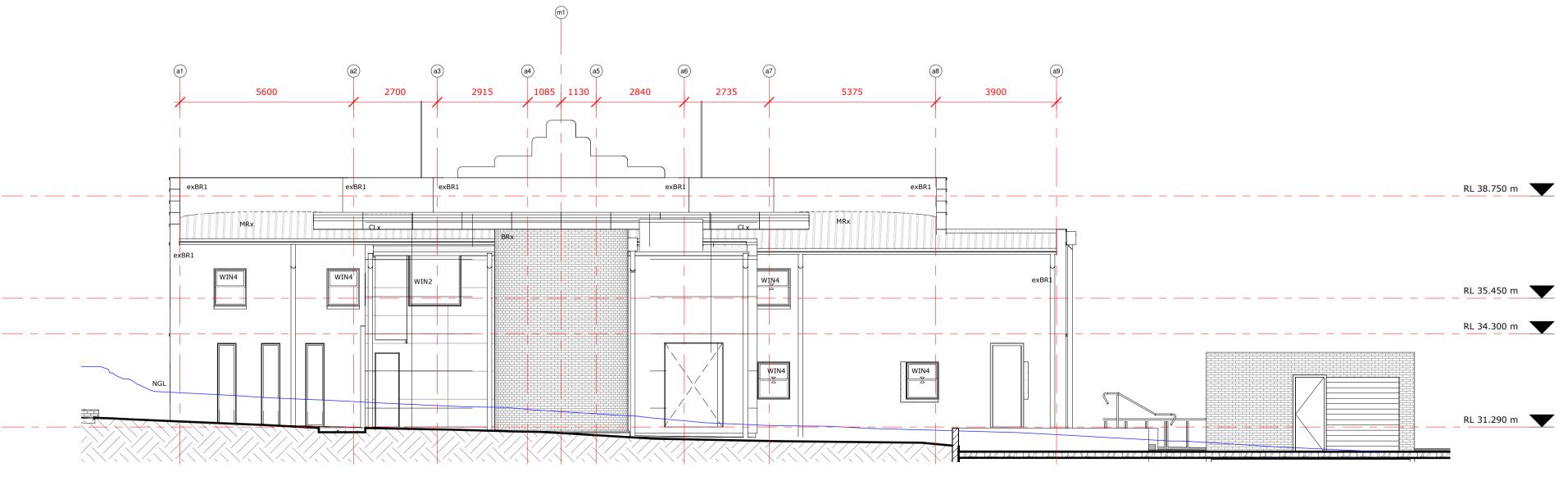
- CLADDING CLx - ALUMINIUM FRAMED DOOR Dx WIN2 - ALUMINIUM FRAMED WINDOW WIN4 - RESTORED TIMBER WINDOW MRx - PROFILED ROOF SHEETING

GTx - EAVES GUTTER DP - DOWNPIPE PTx - PAINT FINISH SCRx - SCREEN TIMBER HRx - HANDRAIL

ALL NEW WORK TO EXISTING EXTERNAL FABRIC TO BE UNDER TAKEN UNDER FIRECTION OF HERITAGE ARCHITECT, SOHI AND SCW.





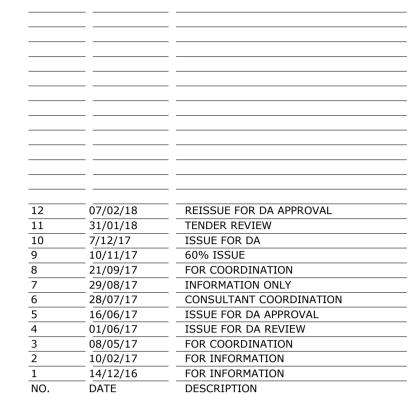


BLD A- NORTH ELEVATION A101 1:100

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# MUNNS SLY MOORE architects

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Nominated Architect Robert Sly FAIA ACT #331 NSW #6712 www.munnsslymoore.com.au

DRAWING

BLD A - ELEVATIONS -SHEET 1

PROJECT

MARIST COLLEGE PENSHURST - STH **HURSTVILLE SITE** (14C11)

CITY SOUTH HURSTVILLE DP 790242 FILE \\MSMA-ADC\RedirectedFolders\dreardon\My Documents\3973\_TEN\_WF-17\_DReardon@mu DATE 11/16/16 VERIFIED EI DRAWN AB CHECKED CJ

STATUS FOR AUTH. APPROVAL

1:100 @ A1 500 PROJECT NO. DRAWING NO. REVISION

3973 A201 12

# FINISHES LEGEND

SCRx

HRx

REFER FINISHES SCHEDULE FOR DETAILS

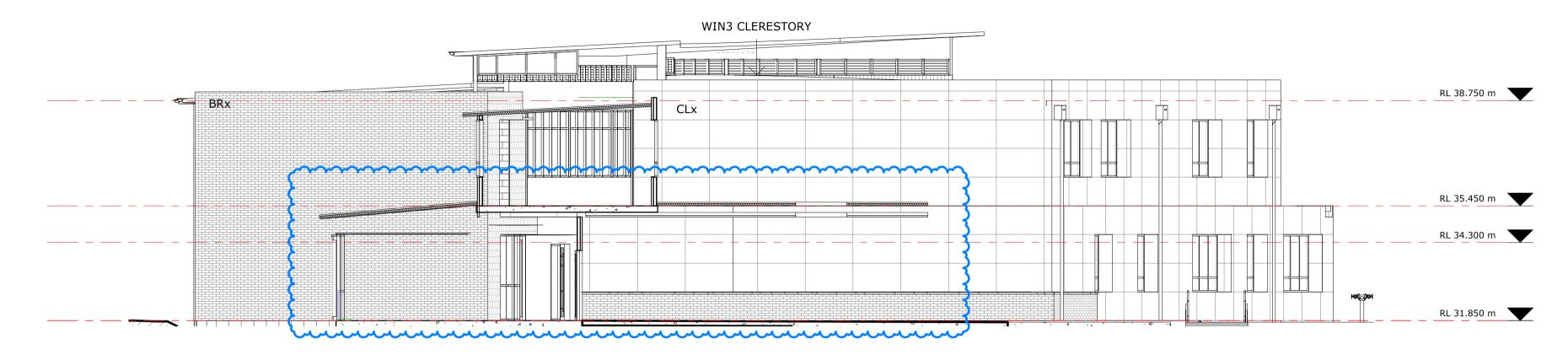
ex - EXISTING FINISH / MATERIAL BRx - BRICKWORK

BRX - BRICKWORK CLx - CLADDING

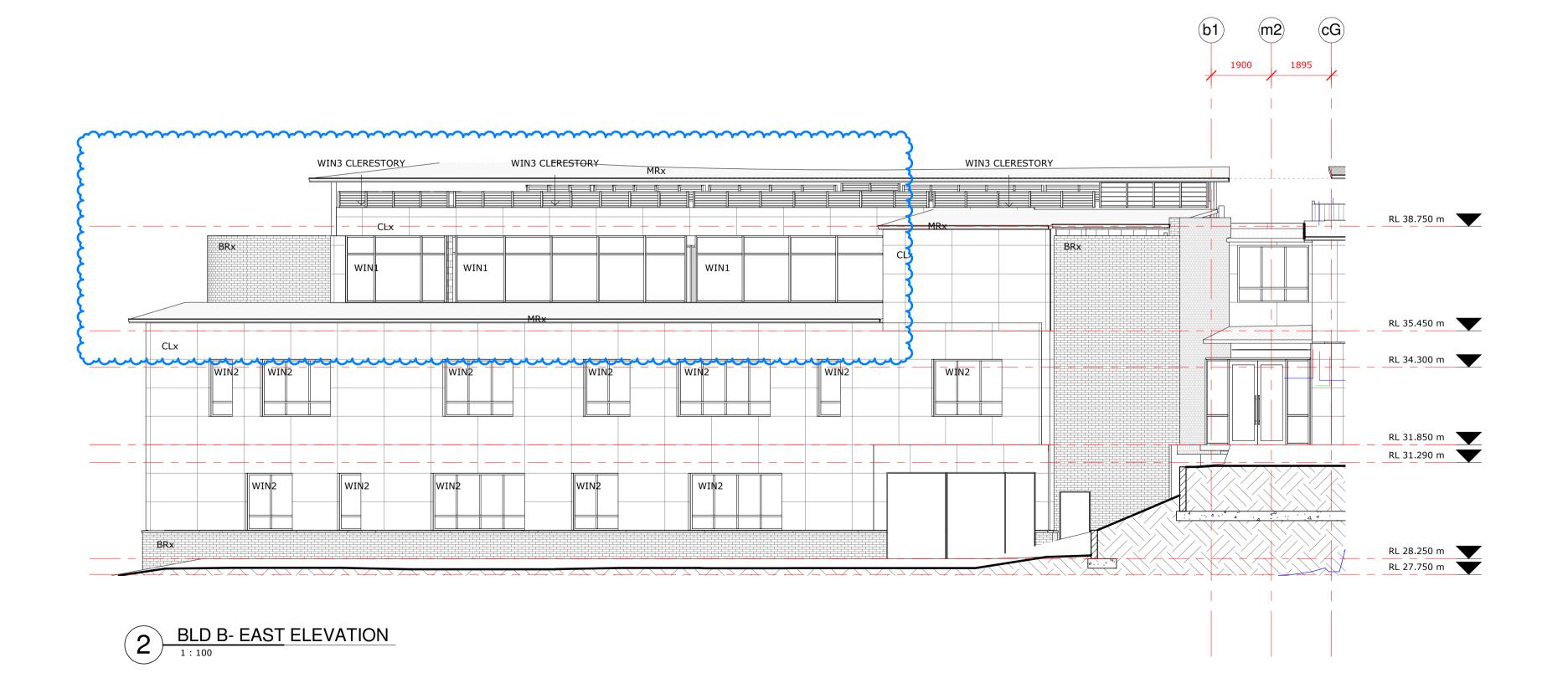
Dx - ALUMINIUM FRAMED DOOR
WIN2x - ALUMINIUM FRAMED WINDOW

- SCREEN TIMBER - HANDRAIL

MRx - PROFILED ROOF SHEETING
GTx - EAVES GUTTER
DP - DOWNPIPE
PTx - PAINT FINISH



1 BLK B - NORTH ELEVATION

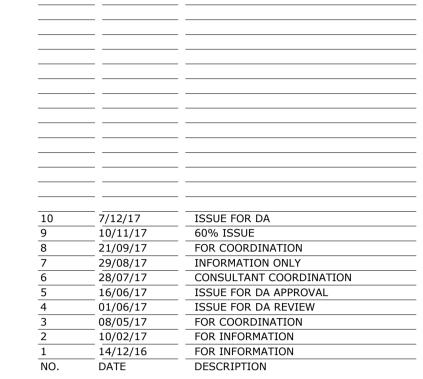


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NOTES

Use figured dimensions. Do not scale from drawings.
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Nominated Architect Robert Sly FAIA ACT #331 NSV

DRAWING

BLD B - ELEVATIONS -SHEET 1

PROJE

MARIST COLLEGE PENSHURST - STH HURSTVILLE SITE (14C11)

LOT 4 DP 790242 CITY SOUTH HURSTVILLE

DATE 11/16/16 FILE C:\Users\cjacob\\Documents\\3973\_TEN\_WF-17\_cjacob}

DRAWN JH CHECKED CJ VERIFIED EI

STATUS FOR COORDINATION

3973 A211

10

REVISION

# FINISHES LEGEND

## REFER FINISHES SCHEDULE FOR DETAILS

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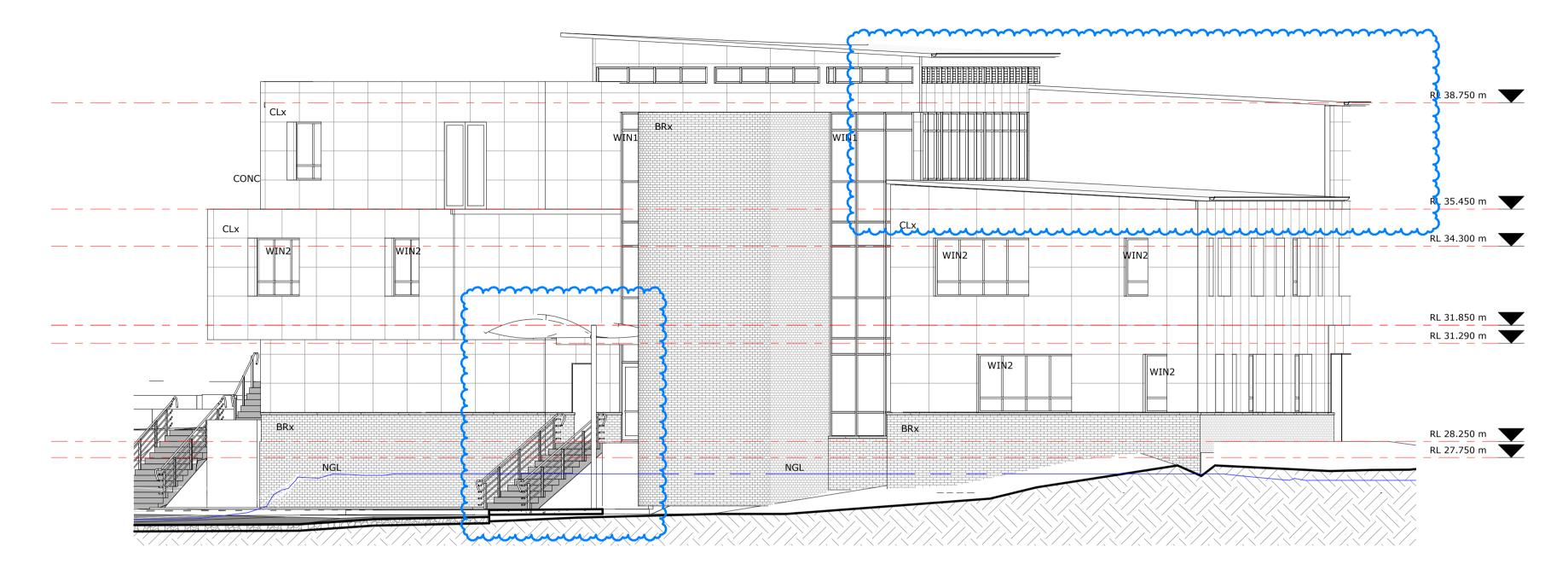
CLx CLADDING

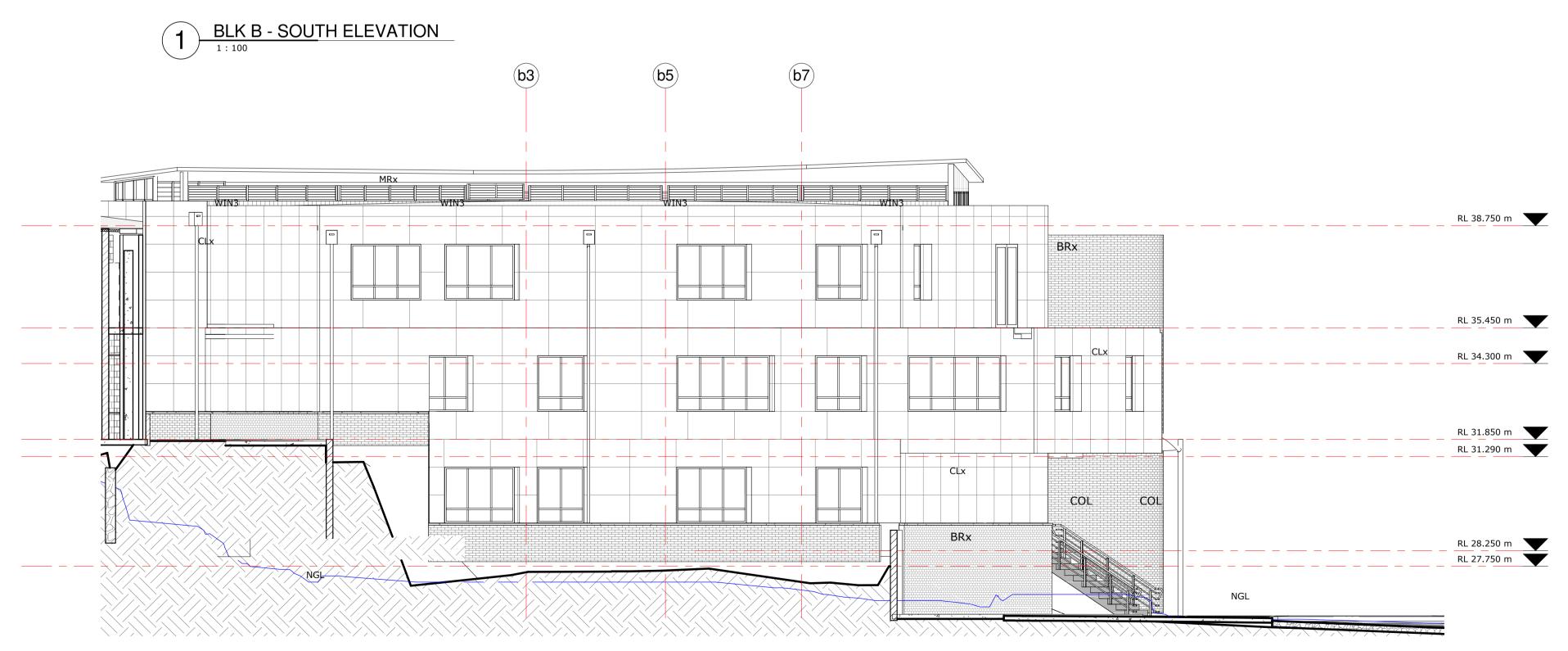
- ALUMINIUM FRAMED DOOR WIN2x - ALUMINIUM FRAMED WINDOW - PROFILED ROOF SHEETING

MRx GTx - EAVES GUTTER DP - DOWNPIPE

- PAINT FINISH

PTx SCRx - SCREEN TIMBER HRx - HANDRAIL





BLK B- WEST ELEVATION

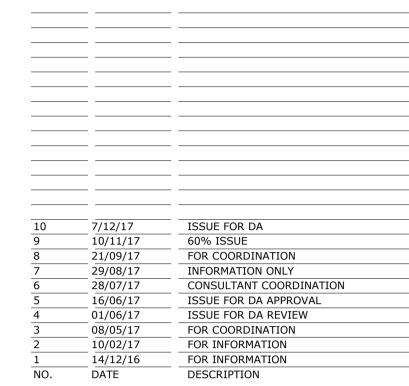
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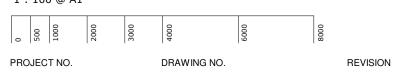
DRAWING

BLD B - ELEVATIONS -SHEET 2

MARIST COLLEGE PENSHURST - STH **HURSTVILLE SITE** (14C11)

STATUS	STATUS FOR COORDINATION					
DRAWN	JH	CHECKED	CJ	VERIFI	ED EI	
DATE	11/16/16		FILE	C:\Users\cjacobi	\Documents\3973_TEN_WF-17	
LOT	4	DP 790242	<u> </u>	CITY	SOUTH HURSTVIL	

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# FINISHES LEGEND REFER FINISHES SCHEDULE FOR DETAILS

ex - EXISTING FINISH / MATERIAL

BRX - BRICKWORK CLX - CLADDING

Dx - ALUMINIUM FRAMED DOOR
WIN2x - ALUMINIUM FRAMED WINDOW
MRx - PROFILED ROOF SHEETING

GTx - EAVES GUTTER
DP - DOWNPIPE
PTx - PAINT FINISH
SCRx - SCREEN TIMBER
HRx - HANDRAIL



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NOTES

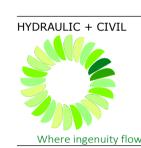
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7/12/17 ISSUE FOR DA 10/11/17 60% ISSUE INFORMATION ONLY 29/08/17 CONSULTANT COORDINATION 28/07/17 16/06/17 ISSUE FOR DA APPROVAL ISSUE FOR DA REVIEW 01/06/17 FOR COORDINATION 08/05/17 10/02/17 FOR INFORMATION FOR INFORMATION 14/12/16 DESCRIPTION DATE

Taylor Thomson

STRUCTURAL + ENVIRONMENTAL



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DRAWING

BLD C - ELEVATIONS -SHEET 1

PROJ

MARIST COLLEGE PENSHURST - STH HURSTVILLE SITE (14C11)

DATE 11/16/16 FILE C:\Users\cjacobi\Documents\3973\_TEN\_WF-17\_cjacobi\Documents\SPROR COORDINATION

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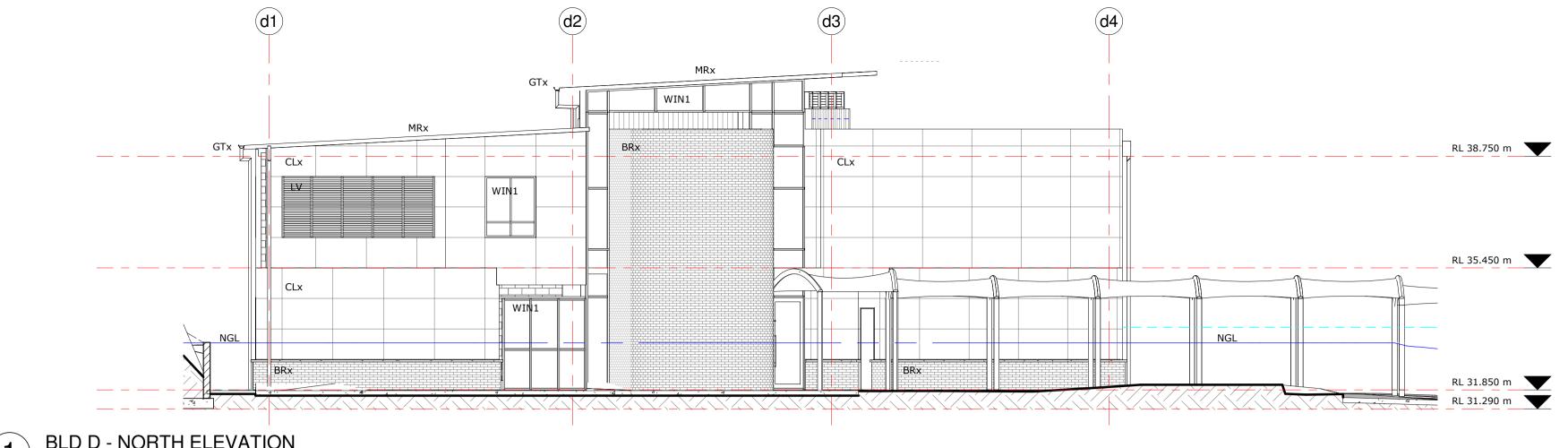


REFER FINISHES SCHEDULE FOR DETAILS

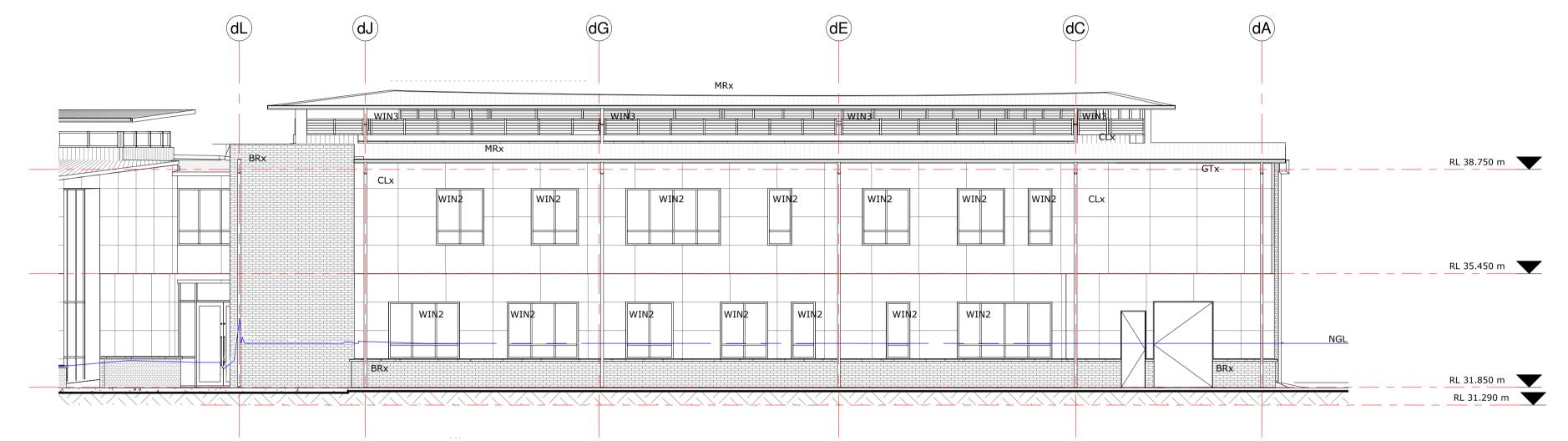
- EXISTING FINISH / MATERIAL - BRICKWORK

CLx - CLADDING Dx - ALUMINIUM FRAMED DOOR WIN2x - ALUMINIUM FRAMED WINDOW - PROFILED ROOF SHEETING

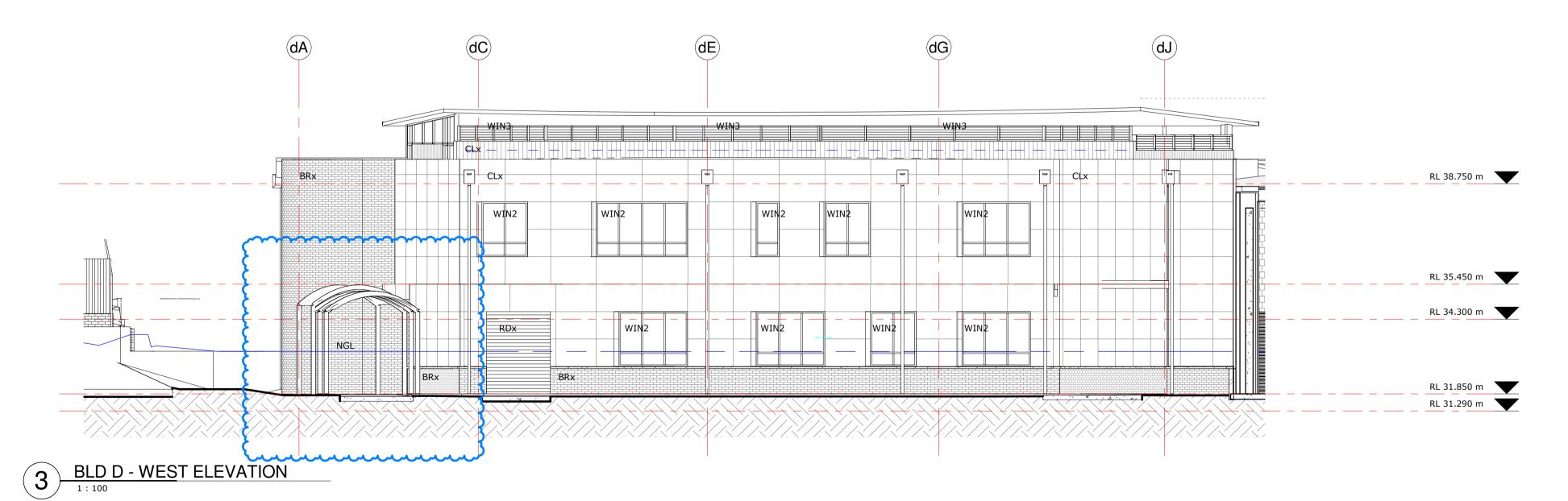
GTx - EAVES GUTTER DP - DOWNPIPE - PAINT FINISH PTx SCRx - SCREEN TIMBER - HANDRAIL HRx



BLD D - NORTH ELEVATION



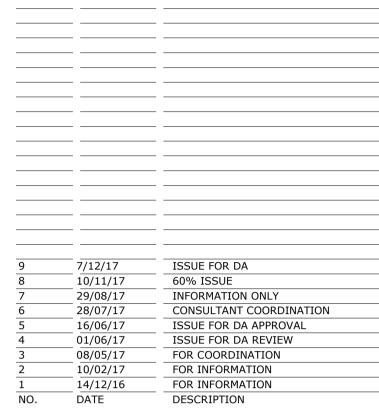
2 BLD D - EAST ELEVATION



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DRAWING

BLD D - ELEVATIONS -SHEET 1

MARIST COLLEGE PENSHURST - STH **HURSTVILLE SITE** (14C11)

DP 790242 CITY SOUTH HURSTVILLE DRAWN CJ CHECKED CJ VERIFIED EI STATUS FOR COORDINATION

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